



Special Meeting: Official Plan Review

April 10, 2024

Special Council Meeting

NPG  PLANNING
SOLUTIONS

Agenda



**Overview of
Official Plan
Changes**



**What is driving the
change?**



Policy Examples



Q&A

St. Clair Official Plan Update

The Township's Official Plan Update is a conformance review to address legislative changes. The Official Plan Update focused on policies for the following:

Housing

Policies to provide greater housing choice, commit to the provision of affordable housing, and facilitate ADUs

Employment

Policies to support economic growth, Central Commercial Areas, and identified employment sectors, while protecting employment lands

Short-term Vacation Rental Units (STVRs) Policies

Policies for managing appropriate use and operation of STVRs to ensure compatibility

Agriculture

Policies regarding on-farm diversified uses, agri-tourism, ADUs, and surplus farm dwellings

Cultural Heritage

Policies reflect updates to the *Ontario Heritage Act* and the *Provincial Policy Statement*

Natural Heritage System

Policies to protect and improve Group A and Group B features, to identify and protect Group C features, and to conform to the County's Official Plan

Urban Design

Policies to promote attractive streetscapes; safe, walkable, and accessible built environment; and conservation of heritage buildings

What is driving the change?

PART B LAND USE POLICIES			
Policy	Current OP	New OP	What is driving the change?
Agriculture	The Current OP includes policies addressing the range of uses permitted within the agricultural area, lot sizes and new farm lots.	New policies are being added to address the following: <ul style="list-style-type: none"> • Surplus farm dwellings • Agri-tourism uses • Additional residential units within existing single detached dwelling or existing accessory farm building • On-farm diversified uses 	PPS, County Official Plan
Housing	The Current OP includes housing policies such as addressing affordable housing, housing mixes and special residential uses.	New Policies are being added to address the following: <ul style="list-style-type: none"> • Expand housing choices • Commit to the provision of Affordable Housing • Additional Dwelling Units (ADUs) 	PPS, County Official Plan, <i>More Homes Built Faster Act (2022)</i>
Day Care Centers	The Current OP does not include any policies addressing day-care centers	New policies are being added to address where day care centers are permitted and how they are designed	County Initiative

PART B LAND USE POLICIES

Policy	Current OP	New OP	What is driving the change?
Employment	The Current OP includes policies establishing a commercial and industrial hierarchy to support job growth and economic investment.	New Policies are being added to address the following: <ul style="list-style-type: none"> • Supporting economic growth • Central Commercial Areas • Employment Sectors • Protecting Employment Lands 	PPS, County Official Plan
Short Term Vacation Rental Units (STVRs)	The Current OP does not include any policies addressing short-term vacation rental units	New policies are being added to manage the use and operation of STVRs to ensure compatibility with surrounding land uses.	Emerging Issues
Cannabis	The Current OP does not include any land use policies addressing cannabis	New policies are being added to address the following: <ul style="list-style-type: none"> • Defining “cannabis production facility” • Where cannabis production facilities are permitted and/or prohibited and related requirements • Outdoor cultivation and processing of cannabis 	Emerging Issue
Parkland Dedication	The Current OP includes policies addressing parkland dedication	New policies are being added to address the following: <ul style="list-style-type: none"> • Parkland dedication for residential development/redevelopment • Parkland dedication for industrial or commercial development/redevelopment 	<i>More Homes Built Faster Act (2022), The COVID-19 Economic Recovery Act (2020)</i>

What is driving the change?

PART C MUNICIPAL SERVICES AND UTILITIES			
Policy	Current OP	New OP	What is driving the change?
Green Energy	The current OP does not contain any policies addressing green energy	New policies are being added to address the following: <ul style="list-style-type: none"> • Rezoning required for green energy projects and related and applicable studies • Wind and solar energy 	Emerging Issues, <i>Planning Act</i>
Natural Heritage System	The current OP has a Natural Heritage section that includes policies addressing hazard and environmental protection	New policies are being added to address the following: <ul style="list-style-type: none"> • Policies to protect and improve Group A and Group B features, • To identify and protect Group C features 	County OP

What is driving the change?

PART D COMMUNITY DEVELOPMENT			
Policy	Current OP	New OP	What is driving the change?
Cultural Heritage	The current OP includes policies addressing cultural and built heritage.	New policies and updates are being added to address the updates to the <i>Ontario Heritage Act</i> and the <i>Provincial Policy Statement</i>	Ontario Heritage Act, PPS
Urban Design	The current OP includes policies encouraging the highest quality in design and amenities	New Policies are being added to address the following: <ul style="list-style-type: none"> • Promote a safe, walkable and accessible built environment • Promote attractive streetscapes and connectivity • Design of “Commercial and Employment Areas” and “Neighborhoods” 	Best Practices

Policy Examples

Agriculture

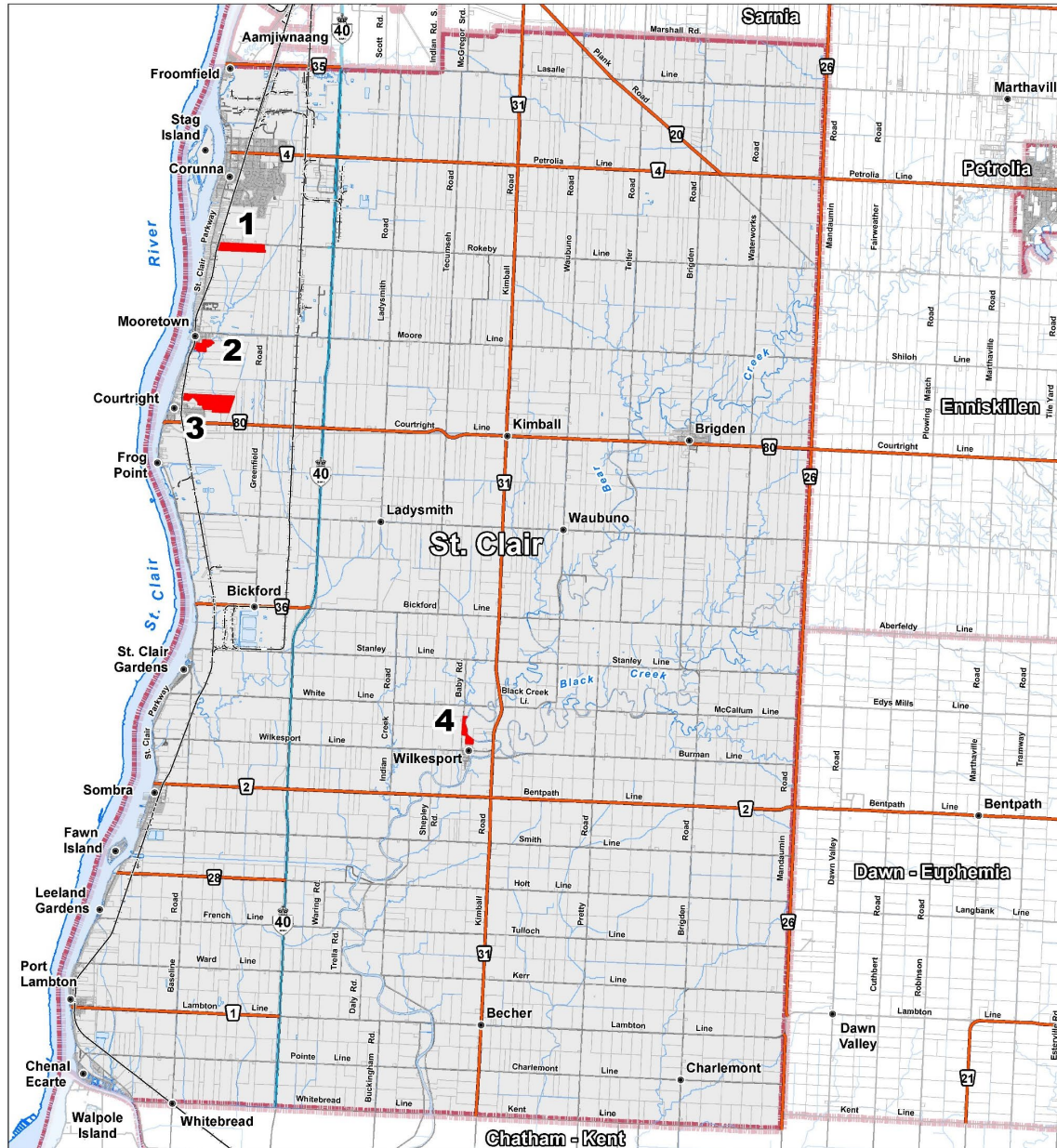
Policies regarding on-farm diversified uses

- On-farm diversified uses that are secondary to the principal agricultural use of the property and are limited in area. Such uses include, but are not limited to, home occupations, home industries, agri-tourism uses, and uses that produce value-added agricultural products.
- On-farm diversified uses will be strongly encouraged in order to provide farmers greater opportunity to obtain additional sources of income and to promote entrepreneurship, innovation, and business incubation.

Planning for Growth

Policies for planning for the growth of the Township

- St. Clair Township is experiencing increased growth, particularly for residential development and new housing. The Township is committed to an expedited process, working with the County of Lambton, to establish growth beyond 2031. Recognizing that the County of Lambton must establish new forecasts and settlement areas, the Township has identified potential areas for new residential growth as shown on Appendix D. Upon completion of the County of Lambton Municipal Comprehensive Review, the Township will update its Official Plan. Appendix D is not a commitment for all lands shown to be in the settlement area but rather recognizes the areas Council will consider for growth.



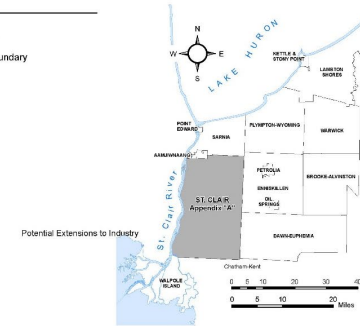
Township of St. Clair OFFICIAL PLAN APPENDIX "D" Potential Growth Areas

LEGEND

- Assessment Parcels
- Rivers - Streams - Drainage
- Roads
- Provincial Highway
- Railroad
- Waterbodies
- Township Boundary

Appendix "D" Descriptions

- Approximate Growth Area
- 1** Rokeby Line
- 2** Mooretown
- 3** Courtright
- 4** Wilkesport



2023
DRAFT



Township of St. Clair OFFICIAL PLAN APPENDIX "D" Potential Growth Areas

to By-law No. of 2023
Passed this day of , 2023

Jeff Agar, Mayor

Jeff Baranek, Clerk

Appendix Amendments

Reference

Disclaimer: These digital mapping products have been produced on the County of Lambton's Geographic Information System. Data provided herein is derived from sources with varying levels of accuracy and currency. This is not a survey product. The County of Lambton disclaims all responsibility for the accuracy or completeness of information contained herein. The County of Lambton assumes no responsibility for errors arising from use of these digital mapping products.

The Official Plan information contained herein is current as of the last recorded amendment noted under "Official Plan Amendments".

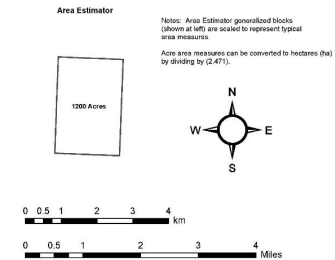
Cadastral database is current to November 2022.

Projection: UTM NAD 83 Zone 17

Consultant: NPG Planning Solutions, October 2023

COUNTY OF LAMBTON
Planning and Development Services, October 2023

www.lambtononline.ca



Thank you. Questions?